

**INDIVIDUAL PROPERTY/DISTRICT  
MARYLAND HISTORICAL TRUST  
INTERNAL NR-ELIGIBILITY REVIEW FORM**

Property/District Name: Helen C. Fitzwater House Survey Number: G-IV-A-254

Project: US 219/Oakland Vicinity Improvement Project Agency: MSHA

Site visit by MHT Staff: ☐ No ☐ Yes Name \_\_\_\_\_ Date \_\_\_\_\_

Eligibility recommended ☐ Eligibility **not** recommended ☒ X

Criteria: ☐ A ☐ B ☐ C ☐ D Considerations: ☐ A ☐ B ☐ C ☐ D ☐ E ☐ F ☐ G ☐ None

Justification for decision: (Use continuation sheet if necessary and attach map)

The Helen C. Fitzwater House, built *circa* 1900, relates to the late nineteenth and early twentieth-century development of the Mountain Lake Park region as a resort area. Mountain Lake Park was founded in 1881 as a Christian resort community modeled after the Chautauquas begun in New York state in the late nineteenth century. Situated a short distance east of Oakland and adjacent to the B & O rail line, Mountain Lake Park in the late nineteenth and early twentieth centuries combined religious, educational, and cultural activities into a wholesome retreat. But unlike Deer Park and Oakland where the B & O had built large lodgings for its wealthy patrons, Mountain Lake Park emphasized more modest, privately-owned family units, and thus smaller, single-family dwellings predominated. The Fitzwater house is typical of much of the area's early-twentieth-century architecture.

Research has not identified any associations with the lives of persons significant to the Oakland area's past or with events that have contributed significantly to broad patterns of the area's historical development. The architecture does not represent a particularly distinctive type, period, or method of construction, nor does it represent the work of a master, possess high artistic values, or represent a significant and distinguishable entity whose components may lack individual distinction. This resource has not yet yielded and is not likely to yield significant information important in history or prehistory.

Document on the property/district is presented in: Historic Structures Inventory and Determination of Eligibility Report

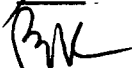
(KCI/MSHA 1997)

Prepared by: Gabrielle M. Lanier/KCI Technologies, Inc.

  
Reviewer, Office of Preservation Services

5/1/98  
Date

NR program concurrence: ☒ yes ☐ no ☐ not applicable

  
Reviewer, NR program

"  
Date

Fitzwater House  
G-IV-A-254  
300 Oakland Drive  
Oakland vicinity  
Circa 1900  
Private

This is a two-story, three-by-one-bay, gable-roofed frame dwelling with a T-plan core, a gable-roofed rear addition which parallels the ridge of the main block, and a wraparound open sided hip-roofed front porch. The house includes a stone foundation, red asphalt brick seating, an asphalt-shingled gable roof with an interior brick chimney, predominantly one-over-one, double-hung wooden sash windows with wooden trim, and wood and glass doors with wooden surrounds. Outbuildings on the property consist of a modern gable-roofed two-car frame garage, a small frame shed, and a two-story, gable-roofed frame shed/stable. The house faces southwest and stands on a open and largely flat lot about one mile east-southeast of Oakland.

The Helen C. Fitzwater House, built *circa* 1900, relates to the late nineteenth and early twentieth-century development of the Mountain Lake Park region as a resort area. Unlike Deer Park and Oakland where the B & O had built large lodgings for its wealthy patrons, Mountain Lake Park emphasized more modest, privately-owned family units, and thus smaller, single-family dwellings predominated. The Fitzwater house is typical of much of the area's late nineteenth and early-twentieth-century architecture.

# Maryland Historical Trust

## Maryland Inventory of Historic Properties Form

Inventory No. G-IV-A-254

### 1. Name of Property (indicate preferred name)

historic

other Helen C. Fitzwater House

### 2. Location

street & number 300 Oakland Drive \_\_\_\_\_ not for publication

city, town Oakland X vicinity

county Garrett

### 3. Owner of Property (give names and mailing addresses of all owners)

name Helen C. Fitzwater

street & number P.O. Box 248 telephone

city, town Oakland state and zip code MD 21550-0248

### 4. Location of Legal Description

courthouse, registry of deeds, etc. Garrett County Courthouse tax map and parcel 78-16-224

city, town Oakland liber and folio 572/760

### 5. Primary Location of Additional Data

- ☐ Contributing Resource in National Register District  
☐ Contributing Resource in Local Historic District  
☐ Determined Eligible for the National Register/Maryland Register  
☐ Determined Ineligible for the National Register/Maryland Register  
☐ Recorded by HABS/HAER  
☐ Historic Structure Report or Research report at MHT  
☐ Other:

### 6. Classification

Category	Ownership	Current Function	Resource Count
<input type="checkbox"/> district	<input type="checkbox"/> public	<input type="checkbox"/> agriculture	Contributing Noncontributing
<u>X</u> building(s)	<u>X</u> private	<input type="checkbox"/> commerce/trade	3 1 buildings
<input type="checkbox"/> structure	<input type="checkbox"/> both	<input type="checkbox"/> defense	0 0 sites
<input type="checkbox"/> site		<u>X</u> domestic	0 0 structures
<input type="checkbox"/> object		<input type="checkbox"/> education	0 0 objects
		<input type="checkbox"/> funerary	3 1 Total
		<input type="checkbox"/> government	
		<input type="checkbox"/> health care	
		<input type="checkbox"/> industry	
		<input type="checkbox"/> landscape	
		<input type="checkbox"/> recreation/ culture	
		<input type="checkbox"/> religion	
		<input type="checkbox"/> social	
		<input type="checkbox"/> transportation	
		<input type="checkbox"/> work in progress	
		<input type="checkbox"/> unknown	
		<input type="checkbox"/> vacant/not in use	
		<input type="checkbox"/> other:	

Number of Contributing Resources  
previously listed in the inventory

0

## 7. Description

Inventory No. G-IV-A-254

### Condition

<input type="checkbox"/> excellent	<input type="checkbox"/> deteriorated
<input checked="" type="checkbox"/> good	<input type="checkbox"/> ruins
<input type="checkbox"/> fair	<input type="checkbox"/> altered

Prepare both a one paragraph summary and a comprehensive description of the resource and its various elements as it exists today.

This is a two-story, three-by-one-bay, gable-roofed frame dwelling with a T-plan core, a gable-roofed rear addition which parallels the ridge of the main block, and a wraparound open-sided hip-roofed front porch. The house faces southwest and stands on an open and largely flat lot about one mile east-southeast of Oakland.

Built on a roughly dressed, uncoursed stone foundation that encloses a full cellar, the walls of the house are clad in red asphalt brick siding finished with white trim. The house is topped with a green asphalt-shingled gable roof finished with a wooden eave. An interior brick chimney rises from the center of the main block at the ridge. Metal louvers near the gable peaks ventilate the attic.

Windows are mostly single, one-over-one, double-hung wooden sash finished with plain flat wooden surrounds. Several aluminum one-over-one windows are also present. The main entrance, which is nearly centered on the southwest elevation, contains a cross-paneled wooden door with a nine-light upper section. The rear entrance, located on the opposite elevation and leading into the rear ell, contains a similar door. Both openings are finished with wooden surrounds.

The wraparound front porch rests on a concrete block foundation that has been concealed behind a wooden lattice skirt. It includes a wooden deck, a shingled wooden balustrade and wooden rail, round wooden porch columns, a beaded wooden ceiling, and an asphalt-shingled hipped roof. The rear porch rests on wooden posts concealed behind a wooden lattice skirt. It has been partially enclosed and sheathed in red asphalt brick at its easternmost end, but the open section consists of a wooden deck, a mixture of four-by-four and turned wooden posts, a beaded wooden ceiling, and an asphalt-shingled shed roof. A short flight of concrete steps flanked by an iron handrail leads from the rear yard up to the level of the porch deck.

A modern one-story, gable-roofed, gable-fronted two-car garage stands to the southeast. This building is clad in aluminum siding and topped with an asphalt-shingled roof. A one-story shed-roofed frame shed stands to the east. Clad in red composition siding finished with flat white corner boards and topped with an asphalt-shingled shed roof finished with exposed rafter feet, this building is accessed by a solid wooden door in its southwest gable. Three large six-over-six, double-hung wooden sash windows finished with flat wooden surrounds and sills are evenly spaced on the southeast elevation. Beyond the immediate house lot and past a wire fence stands a two-story, gable-roofed frame shed/stable fitted with two large garage doors at cellar level. This building is built on a concrete block foundation, sheathed in red composition siding finished with white wooden corner boards, and topped with an asphalt-shingled gable roof finished with exposed rafter feet. Several six-light fixed wooden sash windows light the interior. A standard-sized entrance fitted with a solid wooden door leads into the same elevation.

A T-shaped macadam driveway oriented perpendicular to Oakland Drive extends northeastward between the house and garage. A curving sidewalk links the driveway to the rear entrance. A wire fence runs along the property's northwestern border, and an alley defines its southeastern boundary. Behind the small frame shed stands a stone foundation remnant, which is oriented parallel to Oakland Drive. A horse yard enclosed with a wooden rail fence is located behind the gable-roofed shed/stable. The house is presently occupied and in good condition.

## 8. Significance

Inventory No. G-IV-A-254

Period	Areas of Significance	Check and justify below		
<input type="checkbox"/> 1600-1699	<input type="checkbox"/> agriculture	<input type="checkbox"/> economics	<input type="checkbox"/> health/medicine	<input type="checkbox"/> performing arts
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> archeology	<input type="checkbox"/> education	<input type="checkbox"/> industry	<input type="checkbox"/> philosophy
<input type="checkbox"/> 1800-1899	<input type="checkbox"/> architecture	<input type="checkbox"/> engineering	<input type="checkbox"/> invention	<input type="checkbox"/> politics/government
<input checked="" type="checkbox"/> 1900-1999	<input type="checkbox"/> art	<input type="checkbox"/> entertainment/ recreation	<input type="checkbox"/> landscape architecture	<input type="checkbox"/> religion
<input type="checkbox"/> 2000-	<input type="checkbox"/> commerce	<input type="checkbox"/> ethnic heritage	<input type="checkbox"/> law	<input type="checkbox"/> science
	<input type="checkbox"/> communications	<input checked="" type="checkbox"/> exploration/ settlement	<input type="checkbox"/> literature	<input type="checkbox"/> social history
	<input type="checkbox"/> community planning		<input type="checkbox"/> maritime history	<input type="checkbox"/> transportation
	<input type="checkbox"/> conservation		<input type="checkbox"/> military	<input type="checkbox"/> other:

**Specific dates** Circa 1900 **Builder/Architect** Unknown

Evaluation for:

☒ National Register ☐ Maryland Register ☐ not evaluated

Prepare a one-paragraph summary statement of significance addressing applicable criteria, followed by a narrative discussion of the history of the resource and its context. (For compliance reports, complete evaluation on a DOE Form - see manual).

The Helen C. Fitzwater House, built *circa* 1900, relates to the late nineteenth and early twentieth-century development of the Mountain Lake Park region as a resort area. Mountain Lake Park was founded in 1881 as a Christian resort community modeled after the Chautauquas begun in New York state in the late nineteenth century. Situated a short distance east of Oakland and adjacent to the B & O rail line, Mountain Lake Park in the late nineteenth and early twentieth centuries combined religious, educational, and cultural activities into a wholesome retreat. But unlike Deer Park and Oakland where the B & O had built large lodgings for its wealthy patrons, Mountain Lake Park emphasized more modest, privately-owned family units, and thus smaller, single-family dwellings predominated. The Fitzwater house is typical of much of the area's early-twentieth-century architecture

# Maryland Historical Trust

## Maryland Inventory of Historic Properties Form

Inventory No. G-IV-A-254

Name

Continuation Sheet

Number 8 Page 1

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### HISTORIC CONTEXT:

#### MARYLAND COMPREHENSIVE PRESERVATION PLAN DATA

Geographic Organization: Western Maryland

Chronological/Developmental Period(s): Industrial / Urban Dominance, A.D. 1870 - 1930

Historic Period Theme(s): Architecture, Landscape Architecture and Community Planning

Resource Type:

Category: Building

Historic Environment: Suburban/Rural

Historic Function(s) and Use(s): Dwelling and Outbuildings

Known Design Source: None

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## 9. Major Bibliographical References

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Inventory No. G-IV-A-254

(See Continuation Sheet)

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## 10. Geographical Data

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Acreage of property 1.25 acres  
Acreage surveyed 1.25 acres  
Quadrangle name Oakland, MD-WVA

Quadrangle scale 1:24,000

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### Verbal boundary description and justification

Parcel 224, Map 78, District 16

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## 11. Form Prepared By

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name/title	Gabrielle M. Lanier/Architectural Historian		
organization	KCI Technologies, Inc.	date	3-17-97
street & number	10 North Park Drive	telephone	410-316-7857
city or town	Hunt Valley	state and zip code	MD 21030-1888

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The Maryland Inventory of Historic Properties was officially created by an Act of the Maryland Legislature to be found in the Annotated Code of Maryland, Article 41, Section 181 KA, 1974 supplement.

The survey and inventory are being prepared for information and record purposes only and do not constitute any infringement of individual property rights.

return to: Maryland Historical Trust  
DHCD/DHCP  
100 Community Place  
Crownsville, MD 21032  
410-514-7646

# Maryland Historical Trust Maryland Inventory of Historic Properties Form

G-IV-A-254

Name

Continuation Sheet

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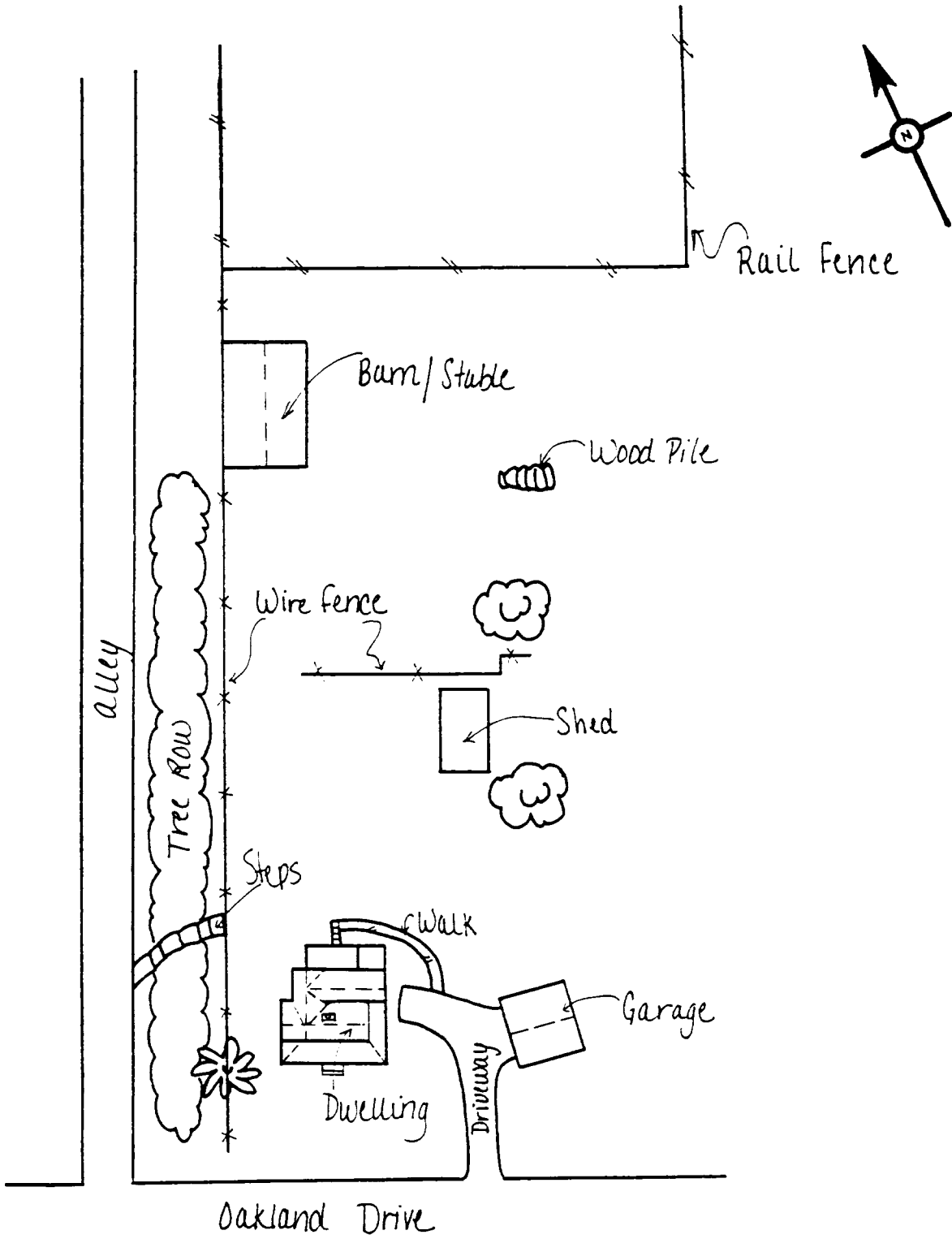
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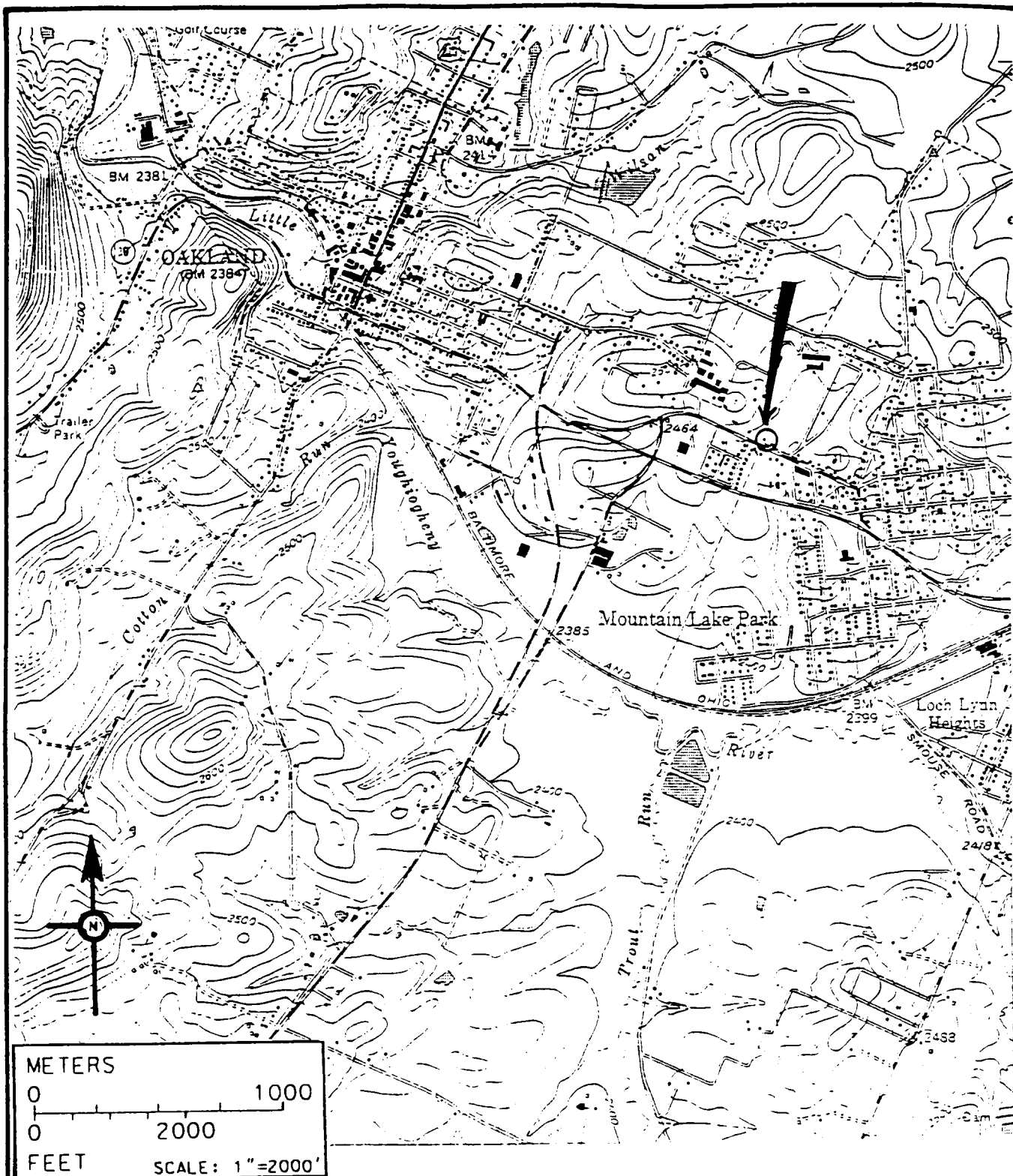
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Resource Sketch Map

G-IV-A-254  
Helen C. Fitzwater House  
Oakland Vicinity, Garrett County



# Location Map

G-IV-A-254

Helen C. Fitzwater House  
Oakland Vicinity, Garrett County

Oakland, MD-WVA Quadrangle Map (USGS 1974)





G-IV-A-254

GARRETT COUNTY, MD  
STUART DIXON  
1/29/97  
MD SHPO

ELEVATION LOOKING N

1 OF 4



G-IV A.254

GARRETT COUNTY, MD  
STUART DIXON  
1/29/97  
MD SHPO

N ELEVATION LOOKING S

2 of 4



G-IV-A-254

CARRETT COUNTY, MD

ELIZABETH ROMAN

1/29/97

2ND SHPO

SW + SE ELEVATIONS FACING N. SHED

382

0

15

15

112

0557

-02

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G-IV-A-254

GARRETT COUNTY, MD  
ELIZABETH ROMAN

1/29/97

MD SHPO

SW + SE ELEVATIONS FACING N GARAGE/SHED

70624